

August 2017

HICKORY RIDGE VILLAGE CENTER

DESIGN GUIDELINES

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 **KIMCO**TM
REALTY

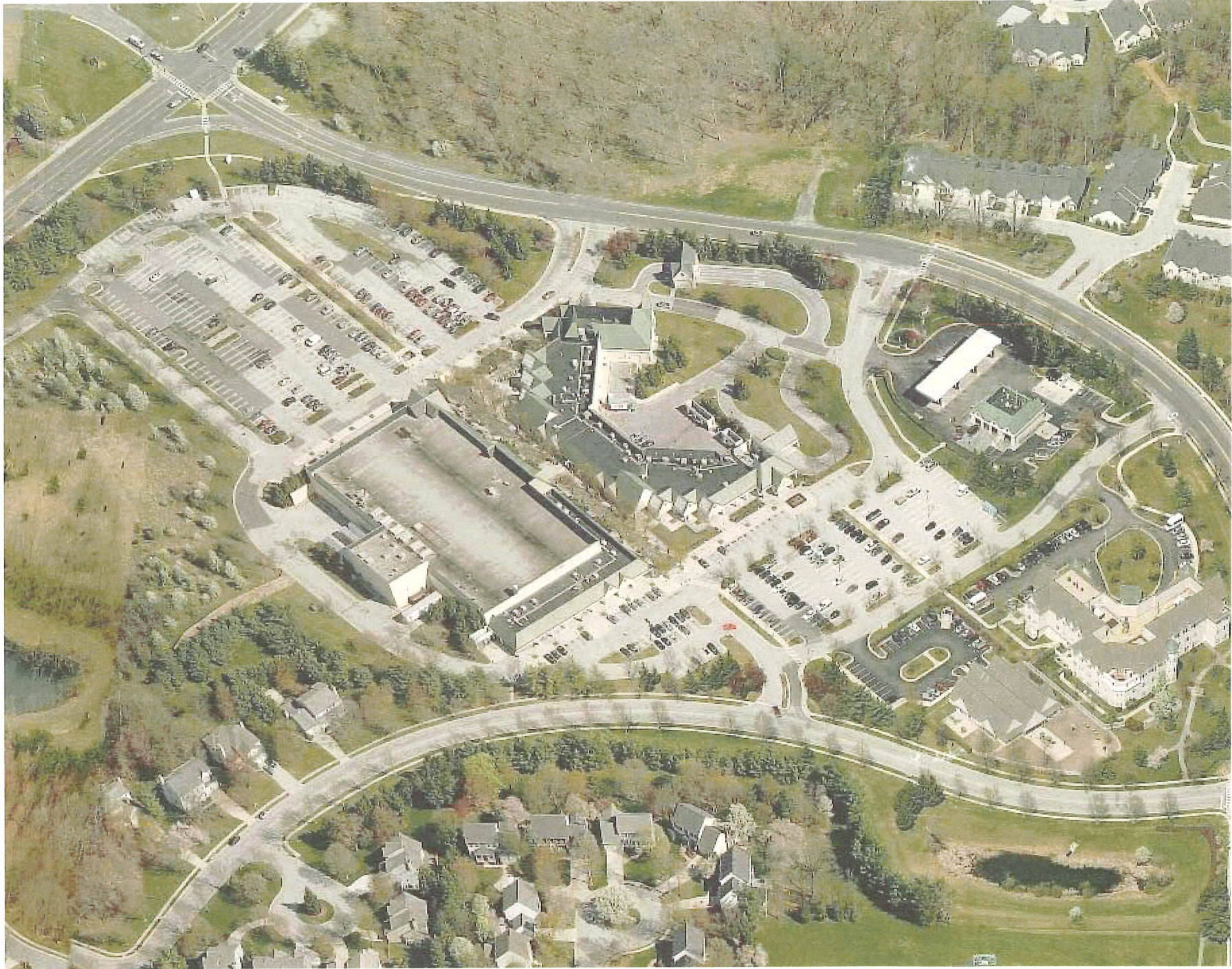


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VILLAGE CENTER TODAY

The Hickory Ridge Village Center is one of the ten planned neighborhood serving retail nodes in Columbia, Maryland. Strategically located in the southeast corner of the intersection of Cedar Lane and Freetown Road with secondary frontage on Quarterstaff Road. Built in 1992, the Village Center provides a variety of retailers including apparel, service retail, restaurants and a Giant grocery store. As envisioned by the Rouse Company, Village Centers were intended to be the heart of each village providing a choice of services and activities for residents in and near the village.

The current retailers are anchored by a Giant grocery store. In total, there is approximately 97,321 square feet of retail, with many shops fronting on the Avenue, an inwardly focused pedestrian walkway, as well as plazas and other landscaped open spaces. Two large surface parking lots on either end of the Avenue provide 505 parking spaces. Many retail storefronts lack good visibility to sustain and support their businesses. Visibility is reduced due to the inward orientation of store fronts away from parking spaces, as well as the dense landscaping and the low and deep building arcade which further obscures storefronts.

In addition to the retail on the Avenue, the Village Center includes Sunoco gas station, Sunrise Senior Living apartments and the Goddard School, an early-education center. Unlike many of the other village centers, Hickory Ridge lacks a cultural or civic-oriented facility, such as Columbia Association recreational facilities or non-denominational inter-faith centers. Adjacent to the Hickory Ridge Village Center is an undeveloped forested parcel owned by Columbia Association.

DEVELOPMENT TEAM

Owner:	KIMCO Realty
Architecture, Planning & Landscape:	Hord Coplan Macht
Civil Engineering:	Bohler Engineering
Community Outreach:	The Caplan Group
Land Use Counsel:	Whiteford Taylor & Preston LLP

VISION

In keeping with the original intent for the design and purpose of Columbia village centers, the Hickory Ridge Village Center will be a place for public enjoyment, for villagers gathering and for daily retail needs. The new Village Center is envisioned to be the heart of the Village and welcoming to all its residents and guests. Central to this purpose and role as a civic place, the Village Center will feature a new Village Green intimately contained by buildings and pedestrian-oriented streets. The addition of a new residential component adds to the diversity of lifestyle choices and vitality to the Village and to the Village Center. The architecture expresses a forward-thinking design, while the scale and form reminds us of the timeless and neighborly qualities of village life. The landscape reinforces the essence and identity of community by giving form to the public spaces. The sense of place is enhanced by the common language of materials and elements shared between buildings and site. The renewed Village Center will serve the needs of Village and those of future residents to come.



REDEVELOPMENT MASTER PLAN



RENEWED VISION

The redevelopment of the Hickory Ridge Village Center will improve visibility of the retailers, create a more approachable and flexible open space and offer residential living to support a more sustainable and walkable Village Center. A central Village Green framed by new and existing retail and a multifamily residential building is the heart of the master plan vision for Hickory Ridge Village Center. The plan includes pedestrian-oriented retail streets with access to central and convenient retail parking. The plan improves the pedestrian access between the Village Green, the Columbia Association parcel and surrounding neighborhoods. The plan will preserve the architectural character and the businesses within the existing Giant-anchored building, continue to utilize existing vehicular and pedestrian access points and protect, where possible, key landscape features to foster a sense of timelessness. The proposed residential building is in keeping with the scale of the Village Center and designed to benefit from proximity to the Village Center's retail and future Columbia Association opportunities. The new residents will enhance foot traffic to the Village Center fostering a more vital and lively place.

PROGRAM SUMMARY

Residential:	230 DU
Retail:	105,300 GSF
Parking:	
Garage (Residential):	368 Spaces (1.6 spaces/DU)
Surface (Retail):	421 Spaces (4.0 spaces/1k GSF)
Total:	789 Spaces





OVERVIEW AND PURPOSE

These guidelines are intended to support the vision and redevelopment master plan for the Hickory Ridge Village Center, as illustrated in the previous chapters. The guidelines establish development standards and guidance for new buildings, renovations and site improvements within the redevelopment envelope of this project. The guidelines create a basic design language and strategy to create consistency throughout the Village Center resulting in a functional, sustainable and visually pleasing place for the residents of Hickory Ridge to enjoy for generations to come.

All sketches, drawings, illustrations and photographs contained in the Design Guidelines do not represent detailed working drawings. They are intended to convey design standards to guide and govern the production of detailed design solutions.

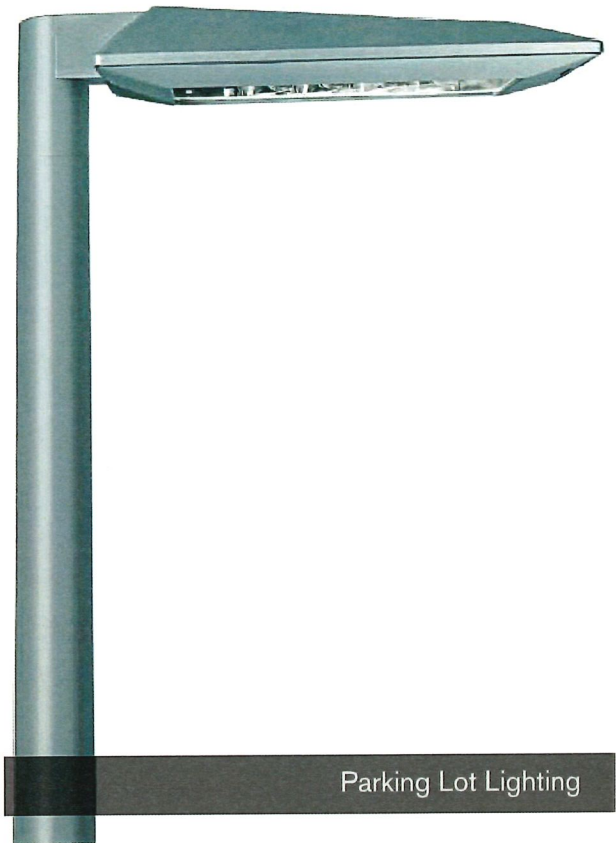


View of Village Green

LANDSCAPE GUIDELINES



Pedestrian Lighting Poles & Fixture



Parking Lot Lighting



Bollard



Accent Light

SITE LIGHTING

- 1. Site lighting fixtures shall be designed to respond to the character, scale and lighting needs of each of the key site public spaces and building types in the Village Center. Poles and luminaries must technically and aesthetically respond to their context.
- 2. Site lighting shall project direct illumination downward to control light trespass onto adjacent properties and surroundings.
- 3. Illumination levels in foot candles, horizontal luminescence and uniformity ratios shall comply with the current recommendations of the Illuminating Engineering Society of North America (IESNA).
- 4. The site lighting shall be located per the Howard County Design Manual. Howard County will have final review and approval of all site lighting.

SITE LIGHTING TYPES

- 1. Street & Pedestrian Pole Mounted Fixtures: Selux- Saturn 2 Cutoff LED (or approved equal)
- 2. Parking Lot Pole Mounted Fixtures: Selux- Avanza 450 (or approved equal)
- 3. Bollards: Selux- Saturn Bollard (or approved equal)
- 4. Landscape Accent Lighting: B-K Lighting- Delta Star Halogen Floodlight (or approved equal)

SITE FURNISHINGS

Benches

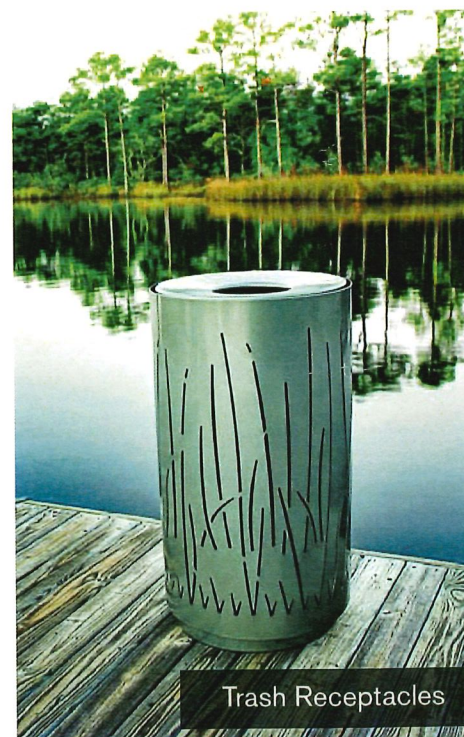
1. Benches shall be provided for rest and sited in areas of high pedestrian activity and at gathering places. They should be arranged in groupings to promote social interaction where possible.
2. Benches shall be constructed of black coated steel or cast aluminum. Wood may be part of the seating surface, but must be resistant to rot (i.e. FCS certified Ipe and Teak).
3. Where benches are designed to be integrated with the landscape and/or building, use materials consistent with the building or shall be constructed of natural materials.
4. Recommended bench and seating types:
 - i. Benches:
 - Form + Surfaces- Hudson Bench (or approved equal)
 - Santa & Cole- NeoRomantico (or approved equal)
 - ii. Cafe Seating:
 - Landscape Form- Traverse Chair (Perforated) (or approved equal)
 - Landscape Form- Steelhead Table (Perforated) (or approved equal)

Trash and Recycling Receptacles

1. Trash receptacles shall be located where they are easily accessible and serviced.
2. Trash receptacles shall be affixed to the ground with vandal-resistant hardware.
3. Trash receptacles shall be constructed of metal with a powder coat finish.
4. Recommended receptacles: Landscape Form- Lakeside (or approved equal)



Cafe Seating



Trash Receptacles



Benches

LANDSCAPE GUIDELINES

Bike Racks

- 1. Bicycle parking shall be located in safe, accessible and convenient locations. Racks shall be placed so as to not impede with cars that park in adjacent parking spaces nor shall impede the free movement of pedestrians on sidewalks.
- 2. Bike racks are encouraged to be of an inverted 'U-type' style or similar, constructed of steel with a powder coat finish.
- 3. Racks shall be securely mounted to the ground plane with vandal resistant hardware or in a concrete footing below grade.
- 4. Recommended racks: Form + Surfaces- Trio (or approved equal)

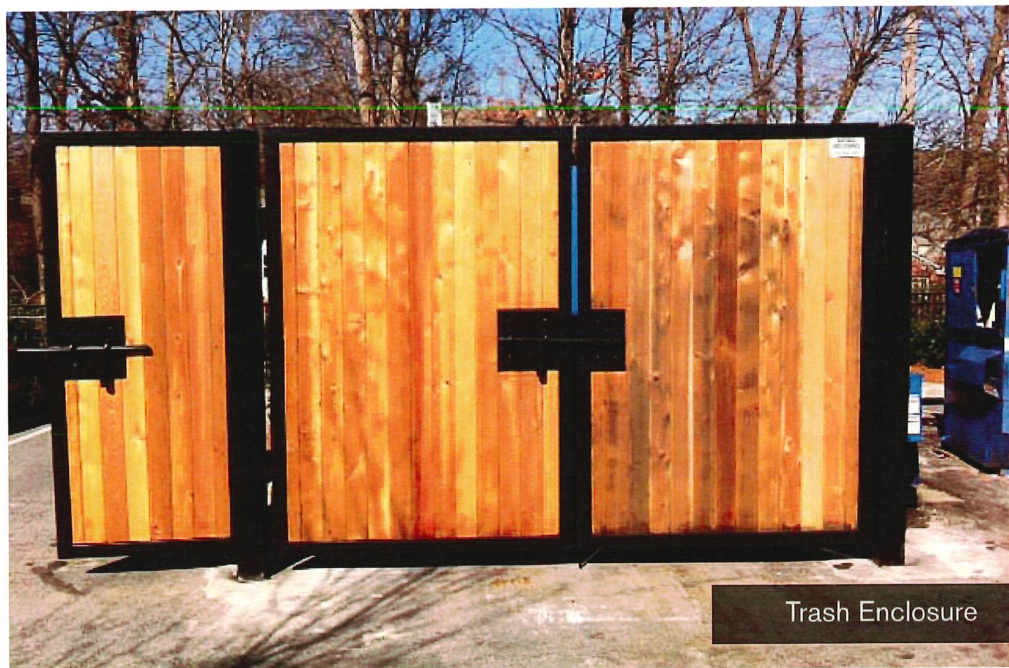
Bollards

- 1. Decorative bollards shall be constructed of architectural metals with a powder coat finish. Colors shall be neutral and the design shall be complementary to the surrounding space and architecture. The overall height for decorative bollards shall be 30" minimum to 40" maximum above finished grade.
- 2. Service bollards used for the protection of equipment and loading areas shall be steel pipe with a height of 48" above the finished grade. Service bollards shall be filled with concrete with a domed finished top surface to shed water.

Walls and Fences

- 1. Free-standing site walls within the public realm shall be designed to create a unified appearance through the Village Center. Materials and colors shall be complementary to the Village Center architecture.
- 2. Walls as required by Howard County for the screening of parking lots, dumpsters, loading areas and equipment shall be designed using materials and forms complementary to adjacent buildings materials within the Village Center.

- 3. Walls designed to provide a transition between the public realm and private residential spaces (such as garden walls or privacy walls) shall be designed using materials and forms that complement the adjacent building forms and materials. These walls shall be constructed to a minimum height of 2 feet and a maximum height not to exceed 4 feet. These walls may contain breaks a that contain wood or metal accent panels.
- 4. Walls shall be constructed to step down incrementally with sloping grade.
- 5. Fencing shall be constructed of metal. Long runs of uninterrupted metal fencing should be avoided. Use piers, complementary to site wall materials and forms, at regular intervals between continuous fence runs.
- 6. Chain link fences shall be prohibited.



Trash Enclosure



Bike Rack

PAVING SURFACES

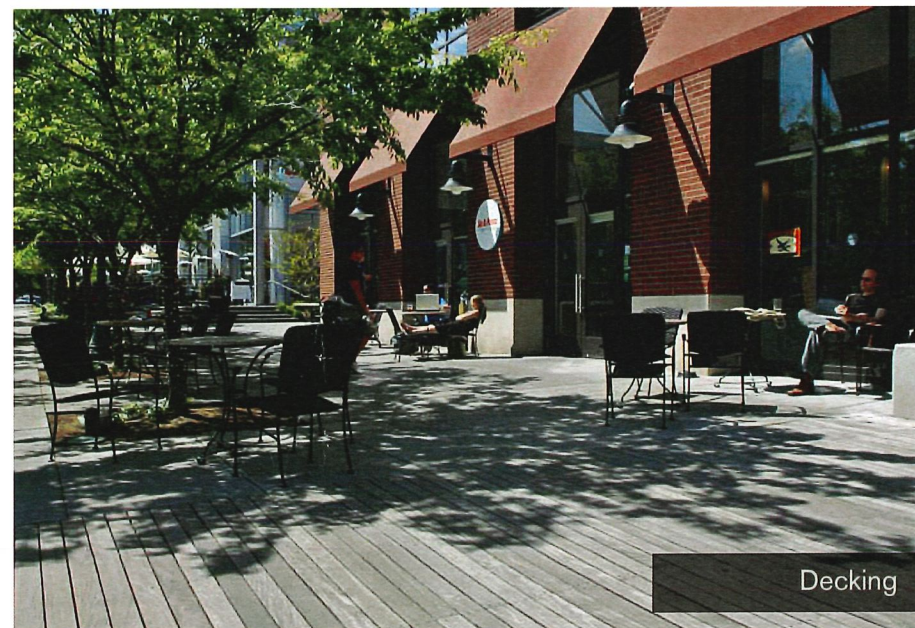
1. The walkways and sidewalks in the Village Center are designed to be generous and accessible for pedestrians.
2. Sidewalks shall be constructed of scored concrete with a light broom finish and concrete pavers.
3. Decorative paving materials shall reinforce the design hierarchy by using visually interesting materials in key public spaces, such as around the Village Green, along retail streets and areas to promote awareness of pedestrian safety, such as crosswalk locations or at the Village Center gateway entrances.
4. Acceptable decorative paving materials shall include the following: stamped asphalt, scored concrete, concrete pavers, brick pavers, stone pavers, and stamped/textured/stained concrete patterns.
5. Acceptable boardwalk surfaces include composite wood decking.
6. Acceptable crosswalk surfaces include concrete pavers, concrete and thermoplastic finishes.
7. Acceptable cartway paving materials include asphalt and stamped asphalt.
8. Acceptable parking lot spaces include stamped asphalt, scored asphalt and impervious concrete or asphalt.



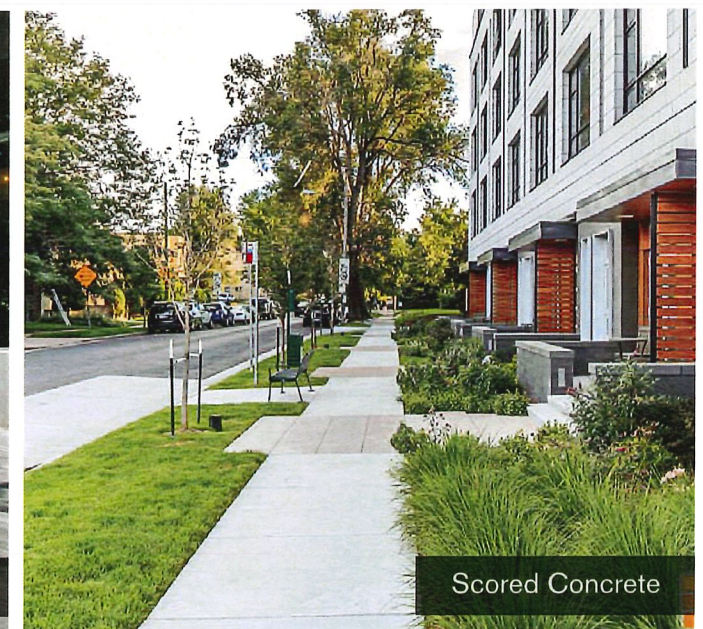
Decorative Paving



Decorative Paving



Decking

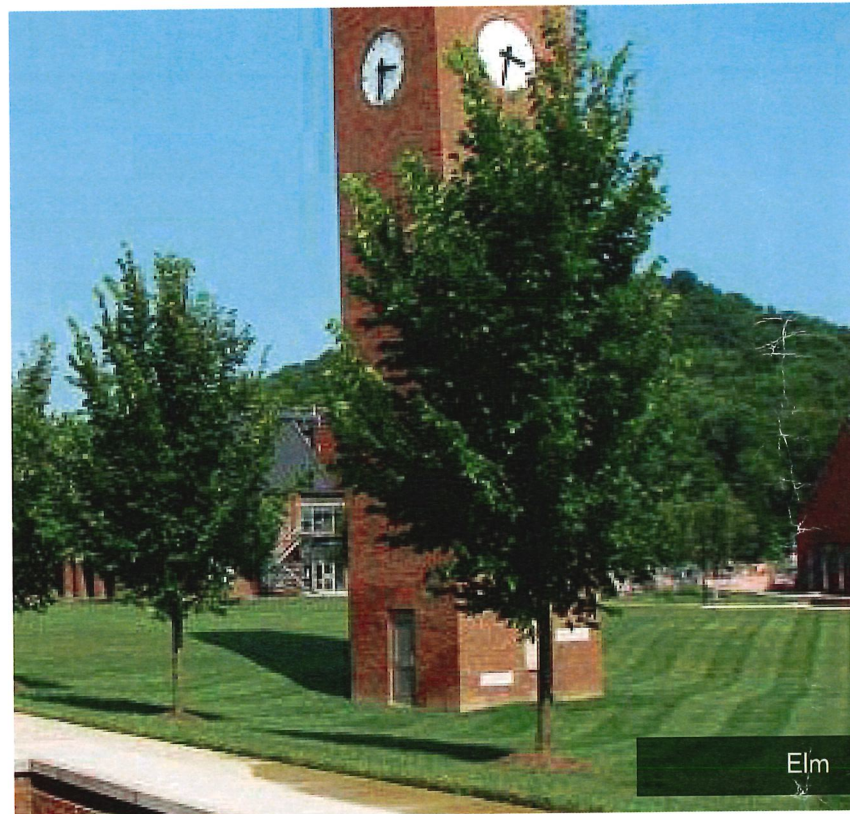


Scored Concrete

LANDSCAPE GUIDELINES



Willow Oak



Elm



Red Maple



Sweetgum

PLANT MATERIAL

Native & Invasive

Invasive species as identified by the State or County are prohibited. Native plants are encouraged as well as plants listed in the Howard County Landscape Manual Updates: Recommended Street Tree List and Recommended Plant List (2010).

Street and Shade Trees

1. The formal nature and continuity of the streets are reinforced by planting street trees of similar growth habit and species.
2. Street Trees shall be planted in continuous rows between the curb and primary sidewalk within a planted panel or within a cut-out in a storefront condition.
3. Shade trees shall be planted in parking lots, between sidewalks and buildings or in public spaces where possible.
4. Shade and Street trees must provide at maturity a minimum vertical distance (measured from grade to the lowest limb) of seven feet.
5. Shade and Street trees shall have a minimum size of 3.5 inch caliper and shall meet the definition of specimen quality per the American Standard of Nursery Stock (ANSI Z60.1-2004).

Ornamental Trees

1. Ornamental trees shall be planted in parking lots, between sidewalks and building, buffer areas or in public spaces where appropriate. Their function is for accent and visual interest.
2. Ornamental trees along sidewalks must provide at maturity a minimum vertical clearance (measured from grade to the lowest limb) of six feet. Multi-stemmed ornamental trees shall be set back from sidewalks a minimum of 5 feet.
3. Minimum size is 2.5" caliper or 10-12 feet in height and shall meet the definition of specimen quality per the American Standard of Nursery Stock (ANSI Z60.1-2004).

Evergreen Trees

- 1. Evergreen trees shall be planted as a perimeter or internal buffer. Their function is to screen and buffer.
- 2. For safety reasons, evergreen trees shall be avoided near pathways in accordance with Crime Prevention through Environmental Design (CPTED) practices.
- 3. Minimum size is 6-8 feet in height and shall meet the definition of specimen quality per the American Standard for Nursery Stock (ANSI Z60.1-2004).

Ground Plane & Bioretention Planting

- 1. Planting beds shall be designed to promote the architectural forms of the plants.
- 2. Repetition of plant palettes across several plant beds or groups of beds is encouraged to create consistent design themes. Plant palettes and groupings may be utilized to frame focal points or entrances based on their location with the Village Center.

RECOMMENDED PLANT LIST

Shade Trees:	Ground Plane / Shrub Layer:
Valley Forge American Elm	Korean Boxwood
Red Maple	Spreading Yew
Seedless Sweetgum	Dwarf Cherry Laurel
Swamp White Oak	Inkberry
Willow Oak	Gro-low Sumac
	Little Lime Hydrangea
Evergreen Trees:	St. Johns Wort
Eastern White Pine	Switchgrass varieties
Norway Spruce (limited)	Feather Reed Grass
Ornamental Trees:	Bioretention Planting:
Crape Myrtle	River Birch
Eastern Redbud	Sweetbay Magnolia
River Birch	Inkberry
Sweet Bay Magnolia	Summersweet (<i>Clethra</i>)
	Sweetspire (<i>Itea</i>)
	Switchgrass varieties
	New York Ironweed
	Fireworks Goldenrod
	New England Aster



Crape Myrtle



River Birch



Magnolia

LANDSCAPE GUIDELINES



PASEO

1. The paseo provides both pedestrian access between the Street A and the Village Green and to retail service entrances. Adequate clear width and site lighting shall be provided to foster a sense of comfort and safety. Service doors shall be designed to be compatible with storefronts and not detract from the pedestrian experience. Landscape planting may provide stormwater management service and screen retail service areas, but should not obstruct pedestrian sight lines nor reduce their sense of security.

SERVICE AREAS

1. Where possible service areas, loading docks, dumpsters electrical and mechanical equipment should not be visible from public streets and important pedestrian public spaces within the Village Center.
2. Service areas, dumpsters, loading docks, electrical and mechanical equipment shall be screened. Screening device materials and character should be designed to complement materials and appearance of adjacent buildings and site features. Composition of materials may include wood, metal, brick, stone or concrete.
3. On-site trash and recycling facilities shall be contained in closed steel containers. Containers shall be enclosed within eight foot high fencing or masonry walls that are complementary in materials and appearance with adjacent buildings and site features. Composition of materials may include wood, metal, brick, stone or concrete. Where possible, enclosures should be augmented with planting material to soften it's appearance.
4. Service courts and loading docks are encouraged to be enclosed within buildings with screens and doors.

SIGNAGE

Hickory Ridge Village Center will be a place of distinction. Site signage should maintain a uniform design palette to strengthen the Village Center's character and reinforce its identity. The signage guidelines will strive to ensure signs reinforce the architectural language and enrich the streetscape experience, without detracting the pedestrian experience. Signs will promote reasonable identification of businesses, institutions and residents, without creating visual clutter.

Site signs shall be designed to be integral and compatible with the landscape and surrounding architecture in terms of size, shape, color, material, proportion, texture and lighting without obstructing sight lines and impairing mobility. High quality materials and creative designs shall be used to attract visual attention, rather than excessively bright and contrasting color schemes and over-scaled text and logos.

Signs shall provide sufficient margins and negative space to promote the legibility of text and graphic elements. Sign letters shall be visually balanced and in proportion to other signs located on the same building. Sign letter heights shall be dimensioned to be legible at intended sight distance, as guided by letter visibility chart. Signs should be designed with appropriate color and finish contrasts between typography and sign backgrounds.

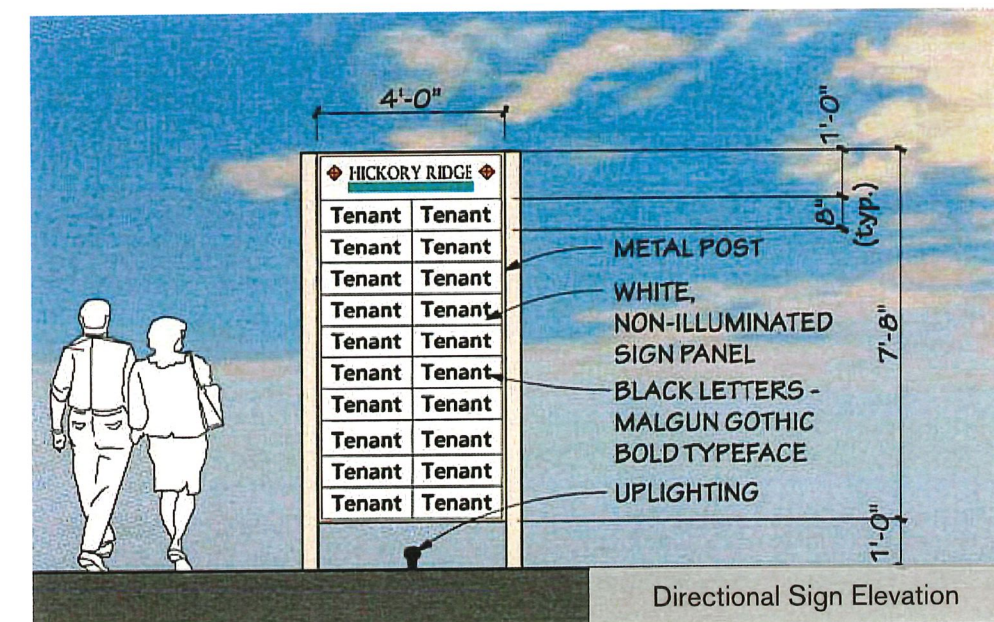
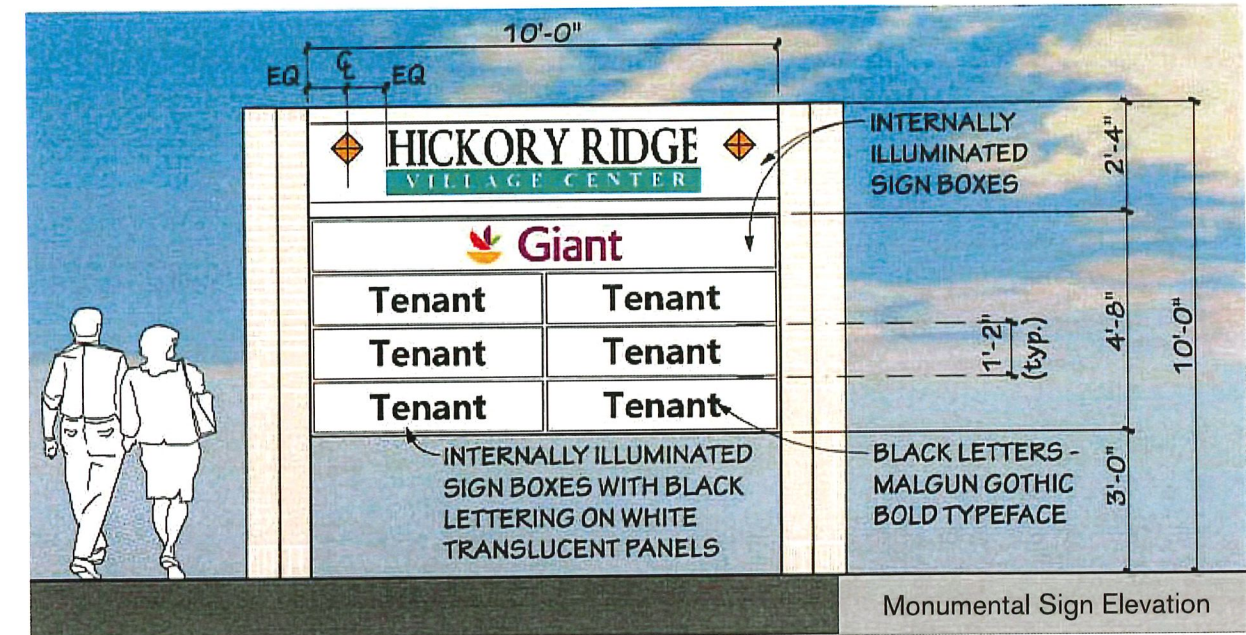
Sign lighting fixtures are encouraged to use LED or compact fluorescent.

Permitted sign quantity and area shall comply with the Howard County, Maryland Sign Code [Sec.5.300].

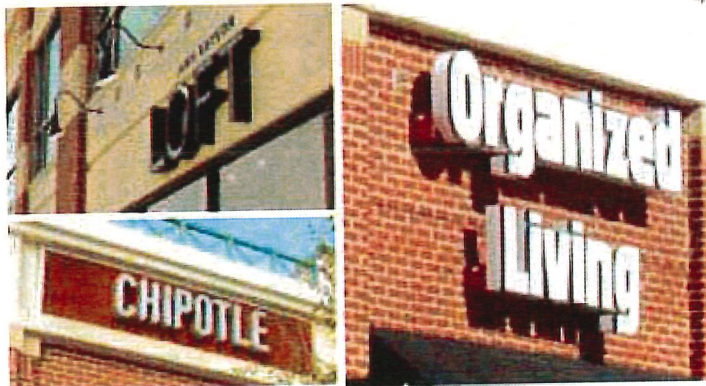
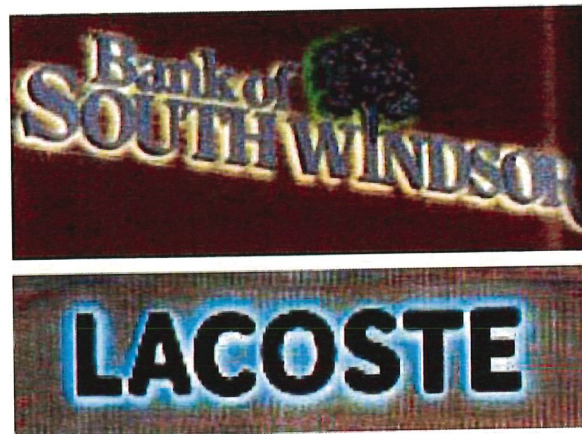
SITE SIGN TYPES

The following site sign types shall be permitted:

1. Free-standing Monument Blade Signs
2. Free-standing Directional Signs



SIGNAGE GUIDELINES



BUILDING SIGNAGE

Achieving variety in storefront signage is a key objective for Hickory Ridge Village Center street level ambiance. Each shop's graphic identity will be a key factor in creating distinction among a variety of shops and restaurants.

Façade signs should be attached to the existing façade with a raceway. The storefront sign can be a logo or trademark that represents the store, or simply the name. Tenant letter heights shall not exceed ten inches.

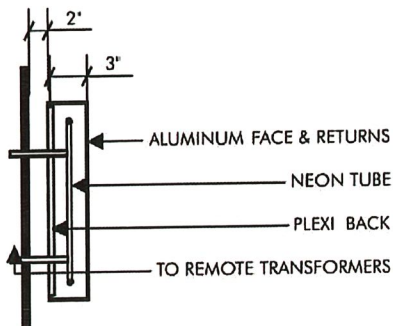
Individual back-lit letters and internally illuminated letters shall be permitted. Sign boxes, cut-outs, push-throughs, neon, or flashing signs along with non-trademark symbols or images are not permitted. All signs shall be approved by the Village Center Owner. All signs will require Howard County permits.

Address Signage will be determined in conjunction of the fire marshal and any other appropriate Howard County agencies. Address signs shall be numeric and not script.

SIGN CRITERIA FOR BUILDINGS:

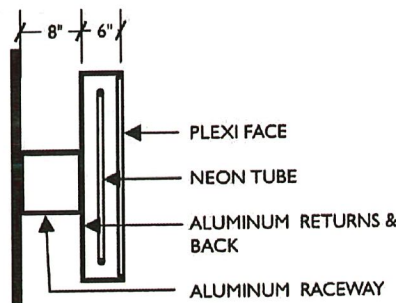
INDIVIDUAL BACK-LIT LETTERS

- Signage: Individual Letters
- Lighting: Concealed lamp/transformer, with back-lit halo effect
- Mounting: Pinned off building facade
- Attachment: Concealed for all devices, clips wiring, tubes and other mechanisms
- Material/Finish: Metal or metallic finish on architectural plastic



INDIVIDUAL BACK-LIT LETTERS

- Signage: Individual letters with opaque sides and translucent face, or individual letters as cut-outs or push throughs of opaque face recessed into opaque panels
- Lighting: Concealed lamp/transformer, with back-lit face
- Mounting: Individual on building facade
- Attachment: Concealed for all devices, clips wiring, tubes and other mechanisms
- Material/Finish: Metal or metallic finish on architectural plastic



ARCHITECTURAL GUIDELINES

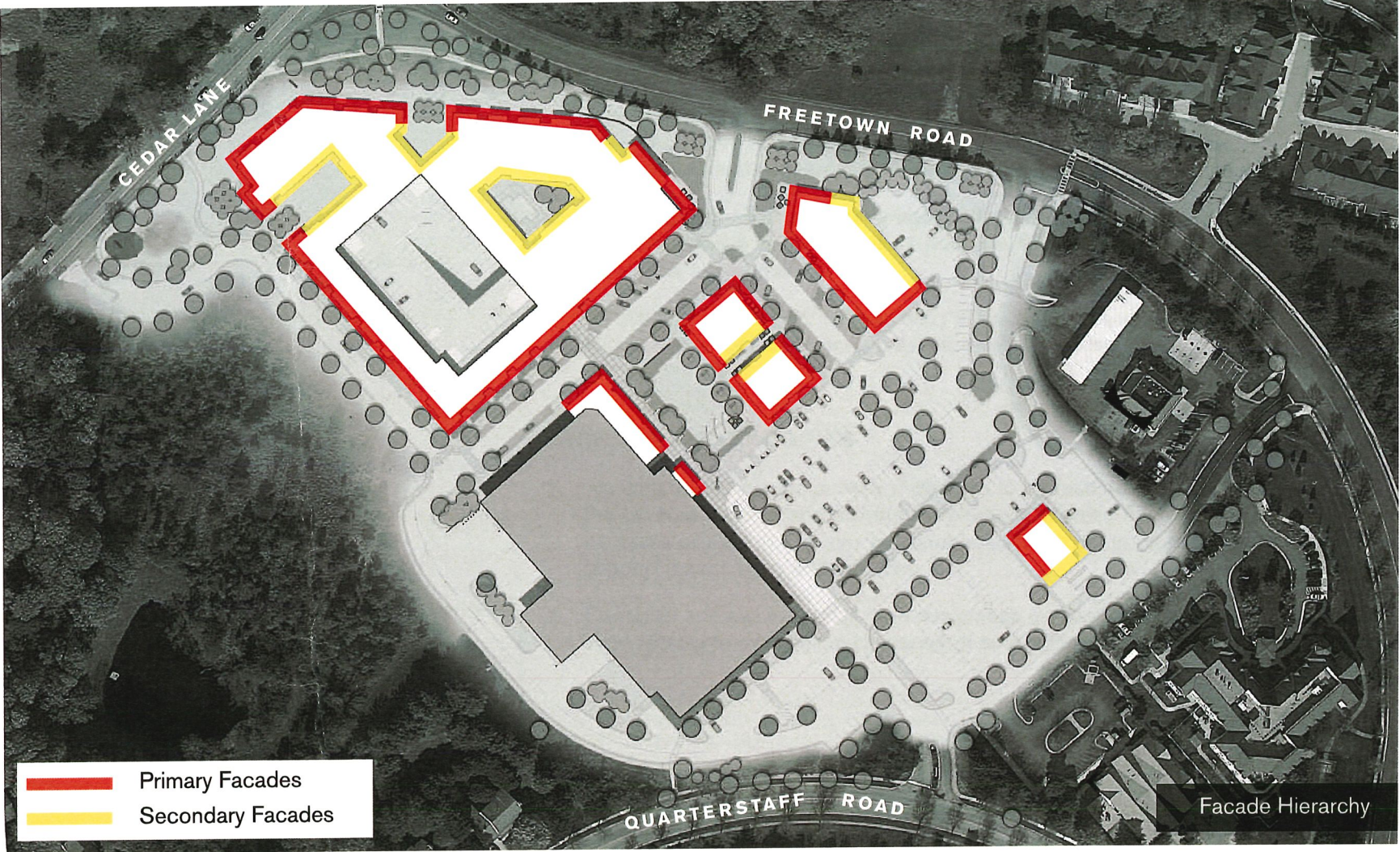
The following architectural guidelines apply to building components that are visible from the streets, open spaces or public spaces. The intent is to create distinctive architecture within the new Village Center. New buildings are encouraged to reflect a high-quality context-sensitive, design vocabulary. Careful consideration should be made regarding blending and borrowing from the existing elements found in the existing Village Center architecture.

BUILDING HEIGHTS

- 1. Residential Mixed-Use Building shall be compatible in scale with the Sunrise Senior Building. This building shall not exceed 4-stories or a maximum height of 55 Feet.
- 2. Retail Buildings are designed as 1-story buildings and shall not exceed the height of the Giant.

FACADES

- 1. Buildings shall use a variety of materials, fenestration patterns and colors to articulate building facades and create visual interest along streets and public spaces. Facades oriented towards pedestrian activity along streets and public spaces shall incorporate the highest level of detail.
- 2. Facades shall be vertically organized to have a distinctive base, body and top.
- 3. The base of the building is intended to ground the building, relate to pedestrians along the sidewalk and provide a durable material palette. Ground floor retail is encouraged to be designed to give the appearance of a having a greater floor-to-floor height.
- 4. The middle of the facade shall feature consistency in materials, window rhythm and colors whether the building is one-story or four-stories.
- 5. The top of the facade will work in concert with the architecture of the middle and visually tie the building to the skyline.
- 6. Horizontal separation to create distinctive vertical layers may employ the following design strategies: changes in window rhythm, change in apparent floor height, a setback or change in material, cornice lines, eaves, detailed roof lines, horizontal banding or a combination of these elements.
- 7. Major facade colors shall be low reflectance, subtle neutral or earth toned. Face brick shall complement the existing Village Center retail building.



MATERIALS

- 1. Primary facades oriented towards areas of pedestrian activity (retail streets and Village Green) and contain pedestrian access shall incorporate the highest level of detail and materials, including cast stone, coursed stone, tile stone, limestone, granite, brick, finish textured concrete masonry, glass, painted metal, stucco, pre-cast concrete, iron, wood, decorative glass, decorative tile, composite siding, form moldings.
- 2. Secondary facades located adjacent to buffered areas, open space lots, internal courtyards, parking lots and service areas shall consist of the same materials as the primary facade, but may include less decorative detail and variation.
- 3. The following materials will not be permitted: Aluminum siding, vinyl siding, unfinished, tilt-up concrete panels and unfinished concrete masonry units.

BUILDING PLACEMENT

Build-to-Line (Internal Setbacks to face of Curb)

Street 'A'	12-18 feet
Street 'B' Retail:	10-16 feet
Street 'B' Residential:	12-24 feet
Street 'C'	16-18 feet

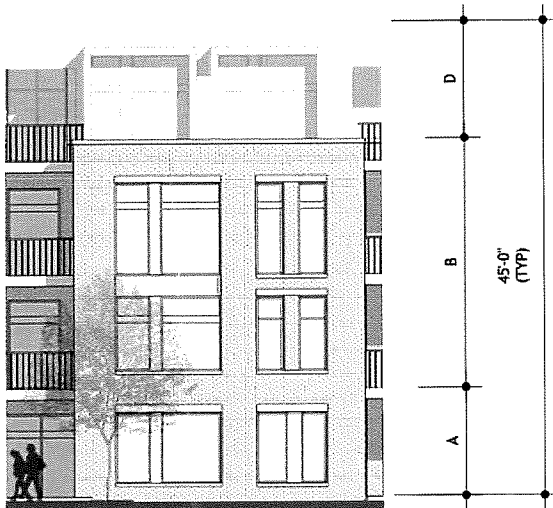
Setback (from Public Right-of-Ways)

Cedar Lane:	minimum 10 feet
Freetown Road:	minimum 5 feet
Quarterstaff Road:	minimum 10 feet
Rear:	minimum 5 feet

- 3. Awnings are added elements to the building and considered non-permanent. Awnings shall be constructed of fabric or painted metal. Fabric awnings shall have painted steel frames. Glowing or fluorescent colored awnings are not permitted.
- 4. Canopies are integral elements to the building facade and are considered permanent. Canopies shall be constructed of metal, wood or masonry supported structures that has a water resistant roof material.

OTHER CONDITIONS

- 1. Parking structures or similar support facilities shall be clad in architectural materials compatible with adjacent buildings when within public view. These facilities should be recessed back from the building plane of adjacent or attached buildings.
- 2. Roof-top building mechanical systems shall be concealed from public view. Careful consideration should be given to screen roof-top mechanical equipment from taller buildings.

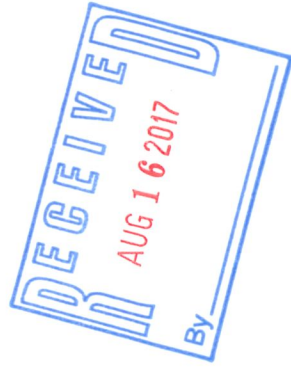


TYPICAL RESIDENTIAL PRIMARY FACADES

ELEVATION LOCATION:	PERMITTED FEATURES:	MATERIALS & NOTES:
A Base:	Canopies/awnings Decorative lights Cladding Signage	Fabric, metal (can include sign) Surface; recessed Masonry; cementitious siding; metal panel; wood Blade Sign; Window; Awning & Canopy (below)
C Body	Cladding Windows Balconies	Masonry; cementitious siding; metal panel; wood Double hung; casement; fixed; curtain wall Metal railing
D. Cornice/ Roof	Cladding Windows Roof	Masonry; cementitious siding; metal panel; wood Double hung; casement; fixed; curtain wall Flat roof

TYPICAL RESIDENTIAL SECONDARY FACADES

ELEVATION LOCATION:	PERMITTED FEATURES:	MATERIALS & NOTES:
A Base:	Cladding Windows	Cementitious siding; metal panel; wood Double hung; casement; fixed; curtain wall
C Body	Cladding Windows Balconies	Cementitious siding; metal panel Double hung; casement; fixed; curtain wall Metal railing
D. Cornice/ Roof	Cladding Windows Roof	Cementitious siding; metal panel Double hung; casement; fixed; curtain wall Flat roof



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