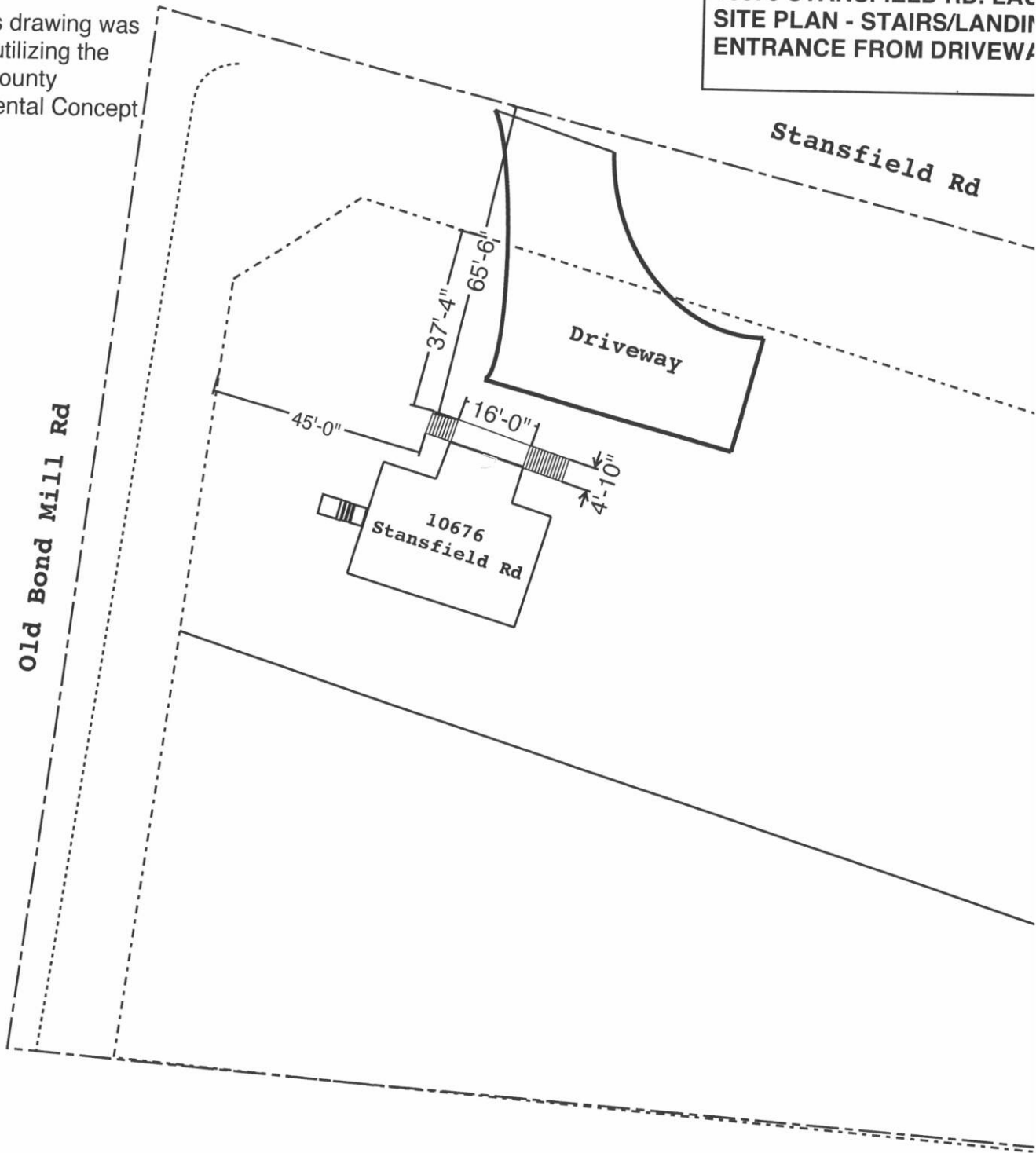


Note: This drawing was provided utilizing the Howard County Environmental Concept Plan

10676 STANSFIELD RD. LAU
SITE PLAN - STAIRS/LANDIN
ENTRANCE FROM DRIVEWA



GENERAL NOTES

1. THE TOPOGRAPHY SHOWN HEREON IS BASED ON AN A FIELD RUN TOPOGRAPHIC SURVEY WITH 2'-FOOT CONTOURS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED MAY, 2014.
2. THE PROJECT BOUNDARY SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED MAY, 2014.
3. THE CONTRACTOR SHALL NOTIFY "WSS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
5. ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
6. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO CEMETERIES OR GRAVE SITES LOCATED ON THE SUBJECT PROPERTY.
7. STORM WATER MANAGEMENT TO BE PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENTAL SITE DESIGN UTILIZING MICRO-BRO RETENTION (M-BR) WHICH WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNER.
8. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AND GRADING PERMITS.
9. THE SUBJECT PROPERTY IS ZONED "R-20" IN ACCORDANCE WITH THE 10/6/13 COMPREHENSIVE ZONING PLAN.
10. THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
11. THE PROPOSED SUBDIVISION AND RELATED CONSTRUCTION WILL HAVE MINIMAL AFFECT ON EXISTING ENVIRONMENTAL FEATURES AND BUFFERS.
12. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS, APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
13. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODESIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS. 31EA AND 31EB WERE USED FOR THIS PROJECT.
14. NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.
15. THERE ARE NO 100-YR FLOODPLAIN, WETLANDS, STREAMS NOR STEEP SLOPES (25% OR GREATER) LOCATED ON SITE.
16. THE ENVIRONMENTAL RESOURCES FOR THIS SITE ARE IN ACCORDANCE WITH A REPORT PREPARED BY JOHN CANOLES OF ECO-SCIENCE PROFESSIONALS, INC. DATED AUGUST 4, 2014.
17. SEDIMENT AND EROSION CONTROL WILL BE PROVIDED FOR THIS SITE.
18. ENVIRONMENTAL ASSESSMENT PLAN WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED AUGUST 4, 2014.
19. A TOTAL OF 2 LOTS ARE PROPOSED UNDER THIS PLAN.
20. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
21. APPROVAL OF THIS ECP DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR RED-LINE REVISION PLAN. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN STAGES AND/OR RED-LINE REVISION PROCESS. THE COMMENTS THAT MAY ALTER THE OVERALL SITE DESIGN AS THIS PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.
22. THERE ARE 4 SPECIMEN TREES IDENTIFIED ON THE SUBJECT PROPERTY. ALL 4 SPECIMEN TREES WILL REMAIN.
23. THE EXISTING HOUSE ON LOT 1 IS TO REMAIN.
24. REFERENCE DPZ FILE NO. F-83-07.
25. SECTIONS 16.124 AND 16.120 OF THE REGULATIONS REGARDING PERIMETER LANDSCAPING AND FOREST CONSERVATION WILL BE ADDRESSED WITH REVIEW OF THE FINAL SUBDIVISION PLANS AND PLAT.
26. IN ACCORDANCE WITH HOWARD COUNTY FOREST CONSERVATION MANUAL CHAPTER 2, APPLICABILITY, THIS 2 LOT MINOR SUBDIVISION IS EXEMPT FROM FOREST CONSERVATION BECAUSE THERE IS NO FURTHER DEVELOPMENT POTENTIAL.

LEGEND

	EXISTING CONTOUR		PROPERTY LINE
	PROPOSED CONTOUR		ROAD-OF-WAY LINE
	EXISTING CURB AND GUTTER		EXISTING STREAM
	EXISTING MAILBOX		SOILS BOUNDARY
	EXISTING SIGN		EXISTING FENCELINE
	EXISTING SANITARY MANHOLE		PROPOSED STORM DRAIN
	EXISTING SANITARY LINE		SALT FENCE
	EXISTING CLEANSUIT		SUPER SALT FENCE
	EXISTING FIRE HYDRANT		SEEDMENT CONTROL ENTRANCE
	EXISTING WATER LINE		LIMIT OF DISTURBED AREA
	PROPOSED SPOT ELEVATION		
	EXISTING TREE		
	MODERATE SLOPES (15% - 24.99%)		



CONCEPT PLAN
SCALE: 1" = 30'

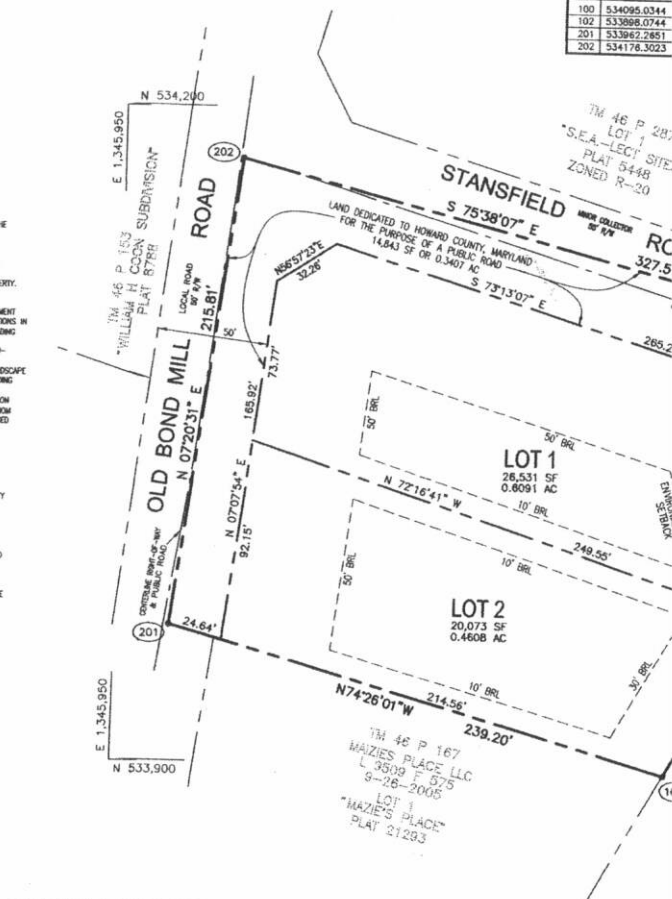
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 11-17-14
DATE
CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11-19-14
DATE

[illegible]

COORDINATA	
NO.	NORTH
100	534095.0344
102	533898.0744
201	533962.2851
202	534176.3023

TM 46 P 287
LOT 1
*S.E.A.-LECT SITE
PLAT 5448
ZONED R-20



THE REQUIREMENT OF § 3-108, THE REAL PROPERTY ARTICLE ANNOTATED CODE OF MARYLAND, 1988 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

THOMAS M. HOFFMAN JR.
PROPERTY LINE SURVEYOR No. 276

4-26-17
DATE

Yoriko Harigaya 4/26/17
YORIKO HARIGAYA DATE

OWNER/DEVELOPER

YORIKO HARIGAYA
10676 STANSFIELD RD.
LAUREL, MD. 20723
(716) 510-4456

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	2
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF NON BUILDABLE BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS AND PARCELS TO BE RECORDED	2
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	2
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	1.0699 AC
TOTAL AREA OF NON BUILDABLE BULK PARCELS TO BE RECORDED	0.0000 AC
TOTAL AREA OF LOTS AND PARCELS TO BE RECORDED	0.0000 AC
TOTAL AREA OF ROADWAY TO BE RECORDED	1.0699 AC
TOTAL AREA OF ROADWAY TO BE RECORDED	0.3407 AC
TOTAL AREA TO BE RECORDED	1.4106 AC

APPROVED: FOR PUBLIC WATER AND PUBLIC
SEWERAGE SYSTEMS HOWARD COUNTY HEALTH
DEPARTMENT.

Barbara Maue Rossman 6/19/2017
HOWARD COUNTY HEALTH OFFICER OF DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING
AND ZONING

Chief, Development Engineering Division 6-21-17
DATE

Director 6-26-17

[illegible]

WITNESS OUR HANDS THIS 26 DAY OF APRIL, 2017

Yoriko Harigaya
YORIKO HARIGAYA

Megan Ruggan

I HEREBY CERTIFY
A SUBDIVISION OF
PERSONAL REPRESENTATIVE
21955 TO YORIKO
THE LAND RECORDS

I ALSO CERTIFY
THE ACCEPTANCE
IN ACCORDANCE WITH
SURVEY IS IN ACCORDANCE

I HEREBY CERTIFY THAT I AM THE
RESPONSIBLE CHARTERER OF THIS VESSEL
UNDER THE LAWS OF THE STATE OF
DATE JULY 28, 2011

THOMAS M. HOFFMAN
PROPERTY LINE SURVEYOR

GENERAL NOTES

- THE TOPOGRAPHY SHOWN HEREON IS BASED ON AN A FIELD RUN TOPOGRAPHIC SURVEY WITH 2-FOOT CONTOURS PREPARED BY ROBERT H. VOGL ENGINEERING, INC., DATED MAY, 2014.
- THE PROJECT BOUNDARY SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGL ENGINEERING, INC., DATED MAY, 2014.
- THE CONTRACTOR SHALL NOTIFY "MSS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST 72 HOURS PRIOR TO START OF WORK.
- ANY EXISTING 12" PUBLIC DUCT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- TO THE BEST OF THE OWNER'S KNOWLEDGE, THERE ARE NO CEMETERIES OR GRAVE SITES LOCATED ON THE SUBJECT PROPERTY.
- STORM WATER MANAGEMENT TO BE PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENTAL SITE DESIGN UTILIZING MICRO-BIO RETENTION (M-BR) WHICH WILL BE PRINTEDLY OWNED AND MAINTAINED BY THE HOMEOWNER.
- THIS PLAN IS SUBJECT TO THE AMENDED 18TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WATER DETENTION, OR BUILDING AND GRADING PERMITS.
- THE SUBJECT PROPERTY IS ZONED "R-20" IN ACCORDANCE WITH THE 10/15/13 COMPREHENSIVE ZONING PLAN AND 114.13 OF THE HOWARD COUNTY ZONING REGULATIONS.
- BUILDING FOOTPRINT LINES FOR THE R-20 ZONING DISTRICTS PER SECTION 114.1.1 AND 114.1.2 OF THE HOWARD COUNTY ZONING REGULATIONS ARE:
- FRONT: 50 FEET
- SIDE: 20 FEET
- REAR: 30 FEET
MINIMUM HEIGHT FOR PRINCIPLE STRUCTURE IN THE R-20 ZONE IS 34 FEET.
- THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
- THE PROPOSED SUBDIVISION AND RELATED CONSTRUCTION WILL HAVE MINIMAL AFFECT ON EXISTING ENVIRONMENTAL FEATURES AND BUFFERS.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS, AND AVAILABLE RECORD DRAWINGS, APPROXIMATE LOCATION OF EXISTING UTILITIES SHALL BE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ANY DAMAGE INCURRED TO THE EXISTING UTILITIES DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.
- THERE ARE NO 100-YR FLOODPLAIN, WETLANDS, STREAMS NOR STEEP SLOPES (25% OR GREATER) LOCATED ON SITE.
- THE ENVIRONMENTAL RESOURCES (WETLANDS) FOR THIS SITE ARE IN ACCORDANCE WITH A REPORT PREPARED BY JOHN CHAPMAN, INC. DATED AUGUST 4, 2014.
- SEMI-ANNUAL AND FLOOD CONTROL WILL BE PROVIDED FOR THIS SITE.
- A FOREST STAND DELINEATION PLAN WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC., LETTER DATED AUGUST 4, 2014.
- THERE ARE 4 SPOONED TREES IDENTIFIED ON THE SUBJECT PROPERTY. ALL 4 SPOONED TREES WILL REMAIN IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- A TOTAL OF 2 LOTS ARE PROPOSED UNDER THIS PLAN.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION DESIGNATED AREAS.
- THE EXISTING HOUSE ON LOT 1 IS TO REMAIN.
- LOT 1, EXISTING DWELLING TO REMAIN
- LOT 2, PROPOSED HOME TO BE CONSTRUCTED
- THERE IS AN EXISTING DWELLING / STRUCTURE LOCATED ON LOT 1. NO NEW BUILDINGS, EXTENSIONS OR ADDITIONS TO THE EXISTING DWELLING / STRUCTURE ARE TO BE CONSTRUCTED AT A DISTANCE LESS THAN THE ZONING REGULATIONS REQUIRE.
- OLD ROAD WILL BE RECLASSIFIED AS A LOCAL PUBLIC ROAD.
- STANFIELD ROAD IS CLASSIFIED AS A MINOR COLLECTOR.
- IN ACCORDANCE WITH HOWARD COUNTY FOREST CONSERVATION MANUAL, CHAPTER 2 AND THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SECTION 16.22(2)(F)(iii), THE TWO (2) LOT MAJOR SUBDIVISION IS EXEMPT FROM FOREST CONSERVATION AS ONLY ONE (1) NEW LOT IS BEING CREATED AND NO FURTHER SUBDIVISION PROTECTION, BASED ON EXISTING ZONING.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- WATER FOR THIS PROJECT IS TO BE PUBLIC EXTENSIONS OF CONTRACT NO. 254-W.
- SEWER FOR THIS PROJECT IS TO BE PUBLIC EXTENSIONS OF CONTRACT NO. 718-S.
- THE PROPOSED HOUSES SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- THE LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANAGEMENT. SUFFICIENT FOR THE REQUIRED PERIMETER LANDSCAPING SHALL BE POSTED WITHIN THE BUILDERS GRADING PERMITS. THE AMOUNT OF \$ 300.00 FOR 1 SHARP TREE.
- DISBURSMENTS SHALL BE PROVIDED PRIOR TO INTERFERING OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
a) WIDTH - 12 FEET 1/2 FEET SERVING MORE THAN ONE RESIDENCE.
b) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH 1/2 INCH AND 1/4 INCH COATING.
c) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% CHANGING AND MAXIMUM OF 45-FOOT DEPTH.
d) TURNING RADII - MINIMUM 15 FEET.
e) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25,000 LBS PER LINEAL FOOT.
f) DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER EXISTING SURFACE.
g) STRUCTURE CLEARANCES-MINIMUM 12 FEET.
h) MAINTENANCE - SUFFICIENT TO RESIST ALL WEATHER USE.
- SEE TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE WEB 2.0 SURVEY - HOWARD COUNTY, MARYLAND.
- TRAFFIC AND RETICULATING COLLECTION WILL BE AT OLD ROAD WILL BE WITHIN 1/2 OF THE SIZE OF THE BOUNDARY.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY COORDINATE SYSTEM WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT LOSS, MISC. AND KITE WERE USED FOR THIS PROJECT.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS DEVELOPMENT.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS DEVELOPMENT.
- SITE DEVELOPMENT PLAN APPROVAL BY THE DEPARTMENT OF PLANNING AND ZONING IS REQUIRED PRIOR TO BUILDING PERMIT BEING ISSUED FOR THE CONSTRUCTION OF THE RESIDENTIAL DWELLING ON LOT 2.
- IN ACCORDANCE WITH SECTION 16.12(1)(2)(F) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, OPEN SPACE REQUIRED IS 8% OF GROSS AREA.
- THE OPEN SPACE REQUIREMENT FOR THIS SUBDIVISION PLAN HAS BEEN SATISFIED THROUGH THE PAYMENT OF A FEE-IN-LIEU IN THE AMOUNT OF \$ 1,300.00.
- WATER AND SEWER SERVICE TO LOT 2 WILL BE GRANTED UNDER PROVISIONS OF SECTION 16.122(B) OF THE HOWARD COUNTY CODE. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF SUBMITTAL OF THE BUILDING PERMIT. IF CONSTRUCTION IS DELAYED AT THAT TIME.
- THE OFFICIAL FIRE-SUBDIVISION COMMUNITY MEETING WAS HELD FOR THIS PROJECT ON MAY 19, 2014 AT THE NORTH LAUREL COMMUNITY CENTER.
- AN ENVIRONMENTAL CONCEPT PLAN (ECP-15-099) WAS APPROVED ON SEPTEMBER 25, 2014.
- THE EXISTING HOUSE ON LOT 1 IS CONSIDERED NOW CONFORMING WITH THE NEW 18.75 SHOWN ON THE PLAN BECAUSE IT WAS CONSTRUCTED PRIOR TO THE RECORDING OF THIS PLAN.
- THE FEE-IN-LIEU OF PROVIDING SIDEWALKS SHALL BE PAID IN THE AMOUNT OF \$ 2,400 WITH THIS FINAL PLAN.

UTILITY NOTES:

- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-328 OUTSIDE METER SETTINGS.

GENERAL NOTES:

- THE LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANAGEMENT. A FINANCIAL SUFFICIENCY FOR THE REQUIRED PERIMETER LANDSCAPING SHALL BE POSTED WITHIN THE BUILDERS GRADING PERMITS IN THE AMOUNT OF \$ 300.00 FOR 1 SHARP TREE.
- AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS LISTED HEREIN AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR REPLACEMENT OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN A FINE OR IN THE RELEASE OF LANDSCAPE SURETY. UNLESS THE AS REQUIRED PLANTINGS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

LANDSCAPE NOTES

- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BENCH, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITIONS, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, BE PRUNED TO RELEASE OF BOMBS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED BY THE HOWARD COUNTY LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO INSTALL.

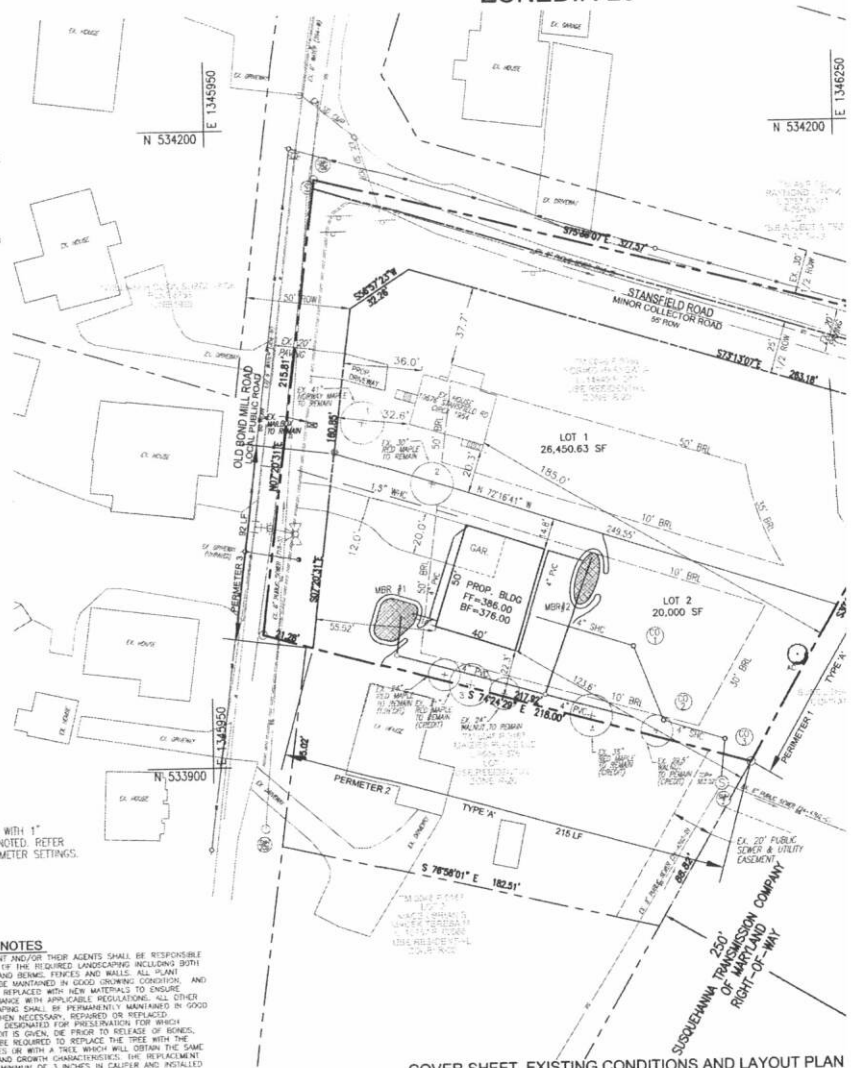
PERIMETER LANDSCAPE SCHEDULE - REQUIRED PLANTING				
SYM	KEY	QUAN	BOTANICAL NAME	SIZE
Q	AC	1	ACER RUBRUM 'ARMSTRONG'	2 1/2" - 3" CAL. B & B
			ARMSTRONG COLUMNAR RED MAPLE	2 1/2" - 3" CAL. B & B

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION 9-6-16
CHIEF, DIVISION OF LAND DEVELOPMENT 9-6-16

SUPPLEMENTAL INFORMATION PLAN YORIKO PROPERTIES LOTS 1 & 2

10676 STANSFIELD ROAD
LAUREL, MD. 20723
PARCEL 88
LIBER 14949 FOLIO 0207
ZONED:R-20



COVER SHEET, EXISTING CONDITIONS AND LAYOUT PLAN

LANDSCAPE SCHEDULE NOTE:

ALL PLANT MATERIALS SHALL BE FULLY FORMED AND SYMMETRICAL, CONFORMING TO THE MOST CURRENT AMERICAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. FINAL LOCATION OF PLANT MATERIAL MAY VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF GRAVING CHANNELS. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.



GRADING, SOILS MAP AND STORMWATER MANAGEMENT PLAN

SCALE: 1" = 30'

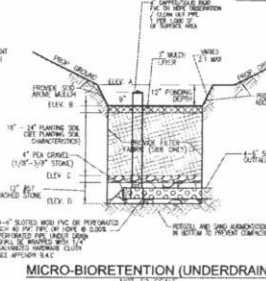
MAPPED SOILS TYPES				
HISTORICAL SOILS				
OWNER / DESCRIPTION	GROUP	HYDRO	PERCENT	K _v
1. STONELAND (SLOPE 3 TO 8 PERCENT)	1	1	100	0.37
2. STONELAND (SLOPE 8 TO 15 PERCENT)	2	2	100	0.24

NOTE: (SOILS) SOILS ARE CLASSIFIED WITH A SLOPE GREATER THAN 10 PERCENT OR THOSE SOILS WITH A SLOPE GREATER THAN 10 PERCENT AND WITH A SLOPE GREATER THAN 5 PERCENT.

- MICROBIOTENTION NOTES:**
1. ALL SOIL TYPES OF MICROBIOTENTION ARE TO BE MAINTAINED IN FILTER FABRIC.
 2. THE FABRIC SHOULD BE LAYED OUT AT THE BOTTOM OF THE MICROBIOTENTION. THE FABRIC SHOULD BE LAYED OUT AT THE BOTTOM OF THE MICROBIOTENTION. THE FABRIC SHOULD BE LAYED OUT AT THE BOTTOM OF THE MICROBIOTENTION.
 3. PROVIDE 3" MINIMUM SPACING BETWEEN UNDERDRAIN AND PERFORATED PIPE THROUGH STONE RESERVOIR OR SPICE PIPE EQUALLY ACROSS BOTTOM FOR SMALL ENDS. (SEE PLANS)

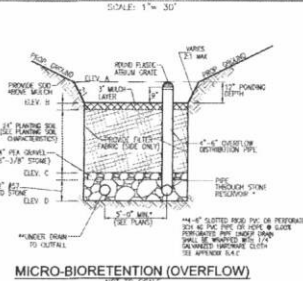
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9-6-16
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 9-6-16
 CHIEF, DIVISION OF LAND DEVELOPMENT



MICRO-BIORETENTION (UNDERDRAIN)

NOT TO SCALE



MICRO-BIORETENTION (OVERFLOW)

NOT TO SCALE

**OPERATION AND MAINTENANCE SCHEDULE
 LANDSCAPE INFILTRATION (M-3), MICROBIOTENTION
 MAIN GARDENS (M-2), MICROBIOTENTION (M-1)**

1. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH, AND MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING MULCH REPLACEMENT SHALL BE DONE BY THE SPRING. PLANT MATERIAL SHALL BE REPLACED AND MULCH SHALL BE REPLACED AND MAINTAINED. MULCH SHALL BE REPLACED AND MAINTAINED. MULCH SHALL BE REPLACED AND MAINTAINED.
2. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH, AND MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING MULCH REPLACEMENT SHALL BE DONE BY THE SPRING. PLANT MATERIAL SHALL BE REPLACED AND MULCH SHALL BE REPLACED AND MAINTAINED. MULCH SHALL BE REPLACED AND MAINTAINED.
3. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH, AND MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING MULCH REPLACEMENT SHALL BE DONE BY THE SPRING. PLANT MATERIAL SHALL BE REPLACED AND MULCH SHALL BE REPLACED AND MAINTAINED. MULCH SHALL BE REPLACED AND MAINTAINED.
4. THE OWNER SHALL CORRECT SOIL EROSION ON ANY AREAS NOTED PER MONTH AND AFTER EACH HEAVY STORM.

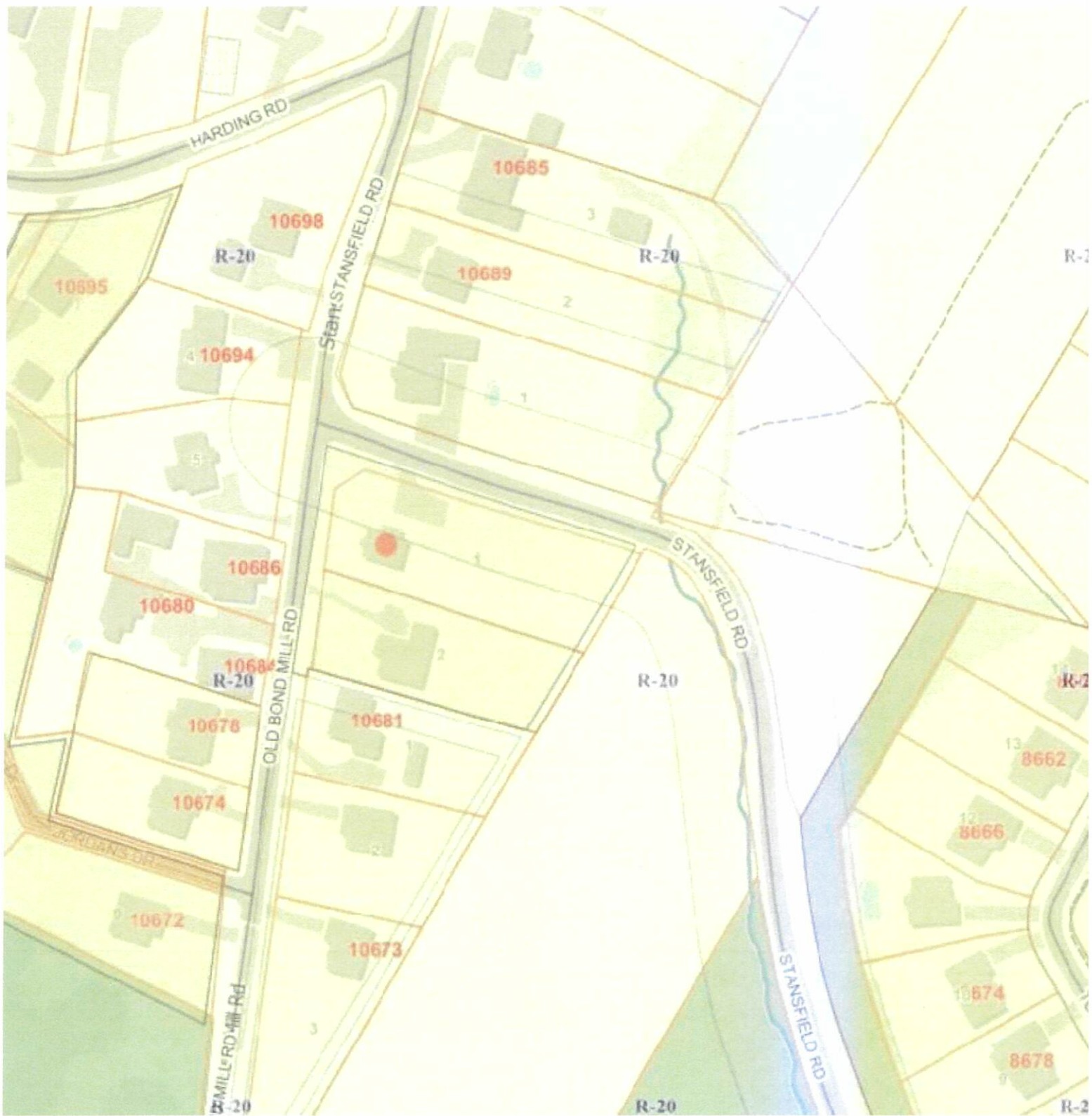
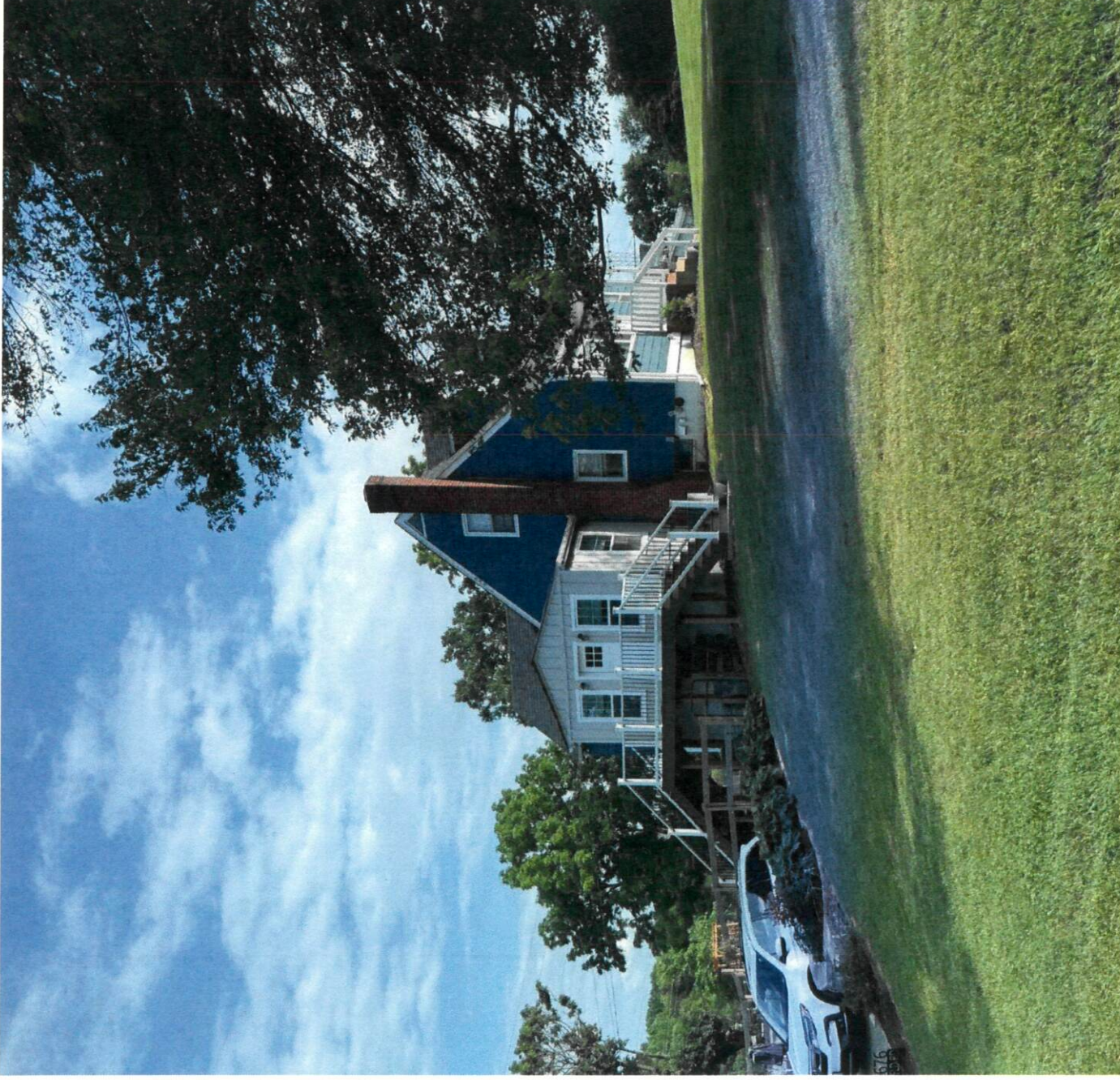


Image 1 is the exterior door to old mudroom entry. Image 2 is the project progress prior to stairs and landing. Image 3 and 4 is some of the rotten wood resulting in mudroom nearly collapsing.



Street View of Finished Project Post Inspections these views are from the perspective of any neighbors that can see the stairs/landing.



Street View of Finished Project Post Inspections these views are from the perspective of any neighbors that can see the stairs/landing.

