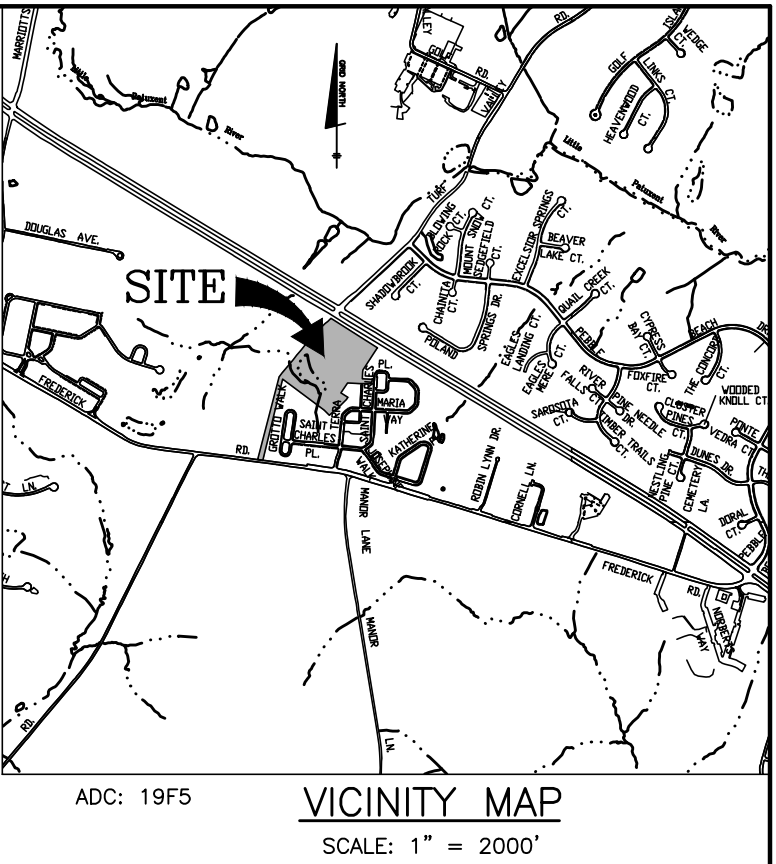




GENERAL NOTES

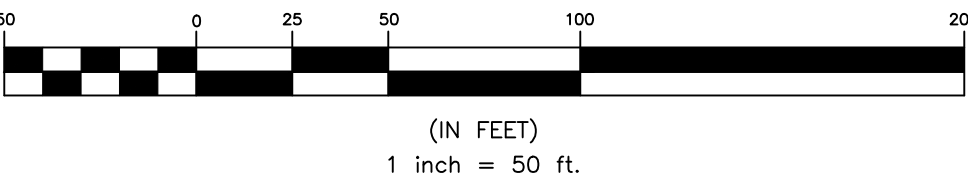
- SUBJECT PROPERTY ZONED R-ED PER THE 10-6-13 COMPREHENSIVE ZONING PLAN. THE DEVELOPMENT OF THIS PROJECT PROPOSES AN AGE RESTRICTED ADULT HOUSING COMMUNITY VIA A CONDITIONAL USE PER SECTION 131.0.N.1 OF THE ZONING REGULATIONS. THEREFORE, THE BULK REGULATIONS USED FOR THIS CONCEPT IS BASED ON THE AGE RESTRICTED REQUIREMENTS.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- EXISTING TOPOGRAPHY IS TAKEN FROM THE HOWARD COUNTY GIS AND ARE 2' CONTOUR INTERVALS.
- FOREST CONSERVATION OBLIGATIONS FOR THIS SITE WILL BE PROVIDED ONSITE AND THE LIMIT DETERMINED AT THE SDP PHASE.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO CEMETERIES LOCATED ON THIS SITE.
- PROPOSED ACCESS DRIVE TO BE 24' WIDE AND PAVED WITH ASPHALT OR CONCRETE.
- EXISTING SURROUNDING SINGLE FAMILY DRIVEWAYS ARE PAVED AS ASPHALT OR CONCRETE AND PROVIDE FOR 2.5 PARKING SPACES PER DWELLING.
- THIS PLAN IS SUBJECT TO SECTION 128 AND 131.0 OF THE HOWARD COUNTY BULK ZONING REGULATIONS.
- STORM WATER MANAGEMENT ANTICIPATED FOR THE PROPOSED IMPERVIOUS AREA WILL BE BY MICRO-BIORETENTION FACILITIES AND SHEETFLOW DISCONNECTION.
- THE EXISTING HOUSE LOCATED ON THE PROPERTY IS TO BE REMOVED PRIOR TO CONSTRUCTION.
- THE DEVELOPMENT HAS BEEN PRESENTED TO THE DESIGN ADVISORY PANEL DATED JANUARY 8, 2025, REFERENCE 24-04.
- REFUSE COLLECTION WILL BE PRIVATE.
- THE PROPOSED COMMUNITY IS LOCATED SOUTH OF THE INTERSECTION OF ROUTE 40 AND TURF VALLEY ROAD.
- THE PROPOSED BUILDINGS WILL NOT EXCEED THE BULK REGULATIONS FOR MAXIMUM HEIGHT OF 40' FOR APARTMENT BUILDINGS.
- THERE IS A HISTORIC STRUCTURE KNOWN AS ST. CHARLES COLLEGE, HO-993, LOCATED ON THE ADJACENT TERRA MARIA SUBDIVISION.
- THE DEVELOPMENT SHALL INCORPORATE UNIVERSAL DESIGN FEATURES FROM THE DEPARTMENT OF PLANNING AND ZONING GUIDELINES THAT IDENTIFY REQUIRED, RECOMMENDED AND OPTIONAL FEATURES.
- WETLAND LIMITS SHOWN ARE BASED ON RECORDED PLAT 11999 FOR TERRA MARIA. LIMITS NEED TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY.

SITE TABULATIONS

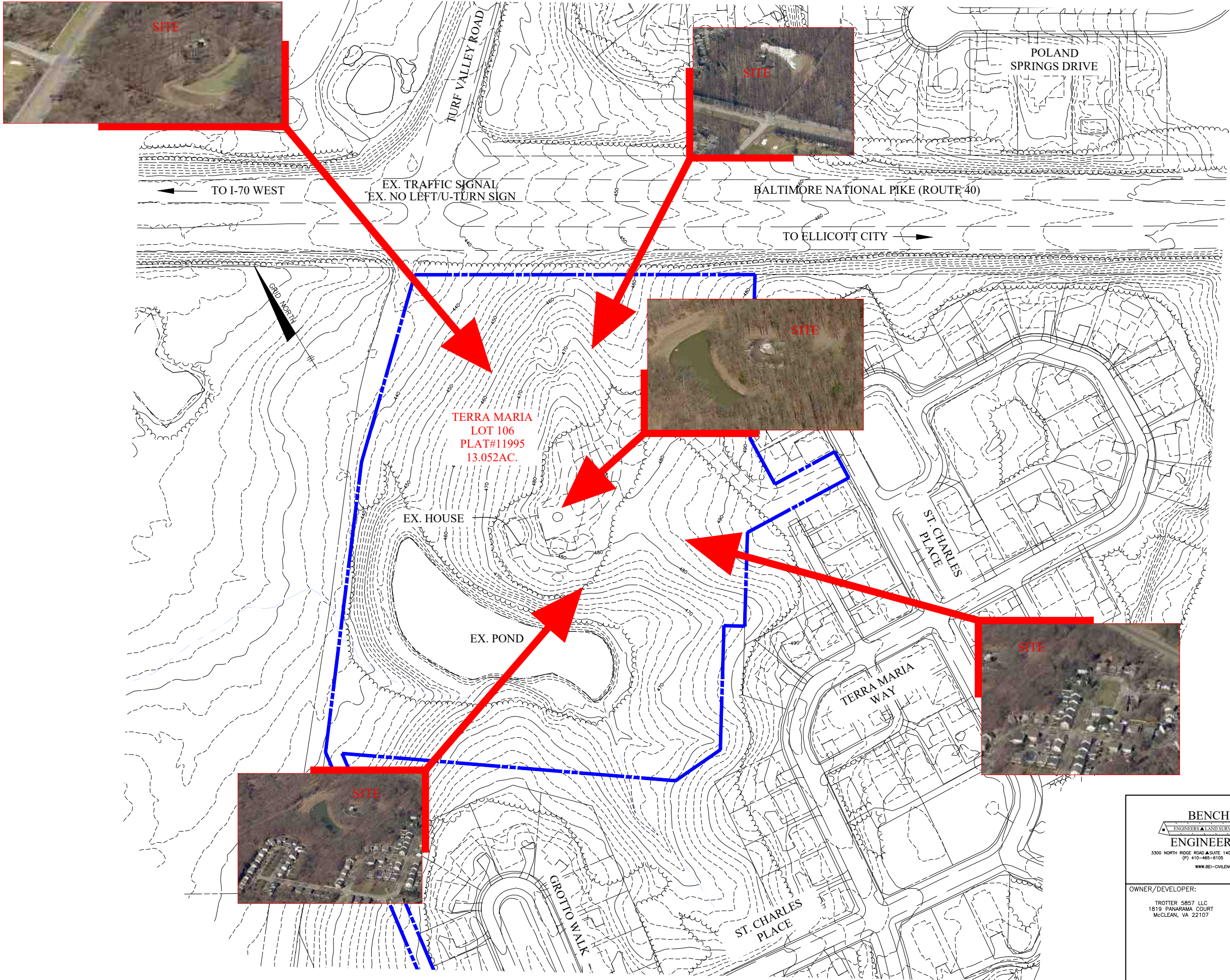
PRESENT ZONING: R-ED
PRESENT COMMUNITY: TERRA MARIA
LOCATION: TAX MAP 16 - GRID 23 - PARCEL 416 - LOT 106, ELECTION DISTRICT #2
APPLICABLE DPZ FILE REFERENCES: S-99-010, F-95-099
DEED REFERENCES: 19938/086
PROPOSED USE OF SITE: AGE RESTRICTED ADULT HOUSING APARTMENTS
PROPOSED WATER AND SEWER SYSTEMS: PUBLIC WATER & SEWER

1) TOTAL PROJECT AREA.....	13.052 AC.±
2) AREA OF 100-YR. FLOODPLAIN.....	NA
3) AREA OF STEEP SLOPES.....	0.49 AC.±
4) AREA OF EXISTING FOREST.....	NA
5) AREA OF ERODIBLE SOILS.....	NA
6) AREA OF WETLANDS.....	1.55 AC.±
7) AREA OF STREAM BUFFER.....	NA
8) NET AREA	12.562 AC.±
9) DENSITY ALLOWED PER SECTION 131.0	62 (5.0/NET AC)
10) UNITS PROVIDED	62
11) APPROXIMATE LIMIT OF DISTURBANCE.....	TBD UNDER THE SDP
12) PRESENT ZONING DESIGNATION.....	R-ED
13) PROPOSED USES FOR THE SITE & STRUCTURES.....	62 AGE RESTRICTED APARTMENT UNITS
14) APPROXIMATE FLOOR AREA	18,227 SF±
15) PARKING SPACES REQUIRED.....	81 (1.3/UNIT)
16) PARKING SPACES PROVIDED.....	112 (SURFACE PARKING)
17) COMMUNITY AREA REQUIRED.....	1,240 SF (20 SF PER UNIT)
18) COMMUNITY AREA PROVIDED.....	4,400 SF (INTERNAL)
19) TOTAL IMPERVIOUS AREA.....	TBD AC±(TBD%)
20) OPEN SPACE AREA REQUIRED.....	6.53 AC±(50%)
21) OPEN SPACE AREA PROVIDED.....	*8.0 AC±(61%)

* SUBJECT TO FINAL DESIGN BUT IN NO EVENT BE LESS THEN 50%



BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS ENGINEERING, INC. 3300 NORTH RIDGE ROAD SUITE 140 • ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BEI-CIVILENGINEERING.COM		TERRA MARIA LOT 106 3173 SAINT CHARLES PLACE ARAH APARTMENT BUILDING	
OWNER/DEVELOPER: TROTTER 5857 LLC 1819 PANARAMA COURT MCCLEAN, VA 22107		TAX MAP: 16 GRID: 23 PARCEL: 416 ZONED: R-ED ELECTION DISTRICT NO. 2ND HOWARD COUNTY, MARYLAND	
CONDITIONAL USE EXHIBIT			
DESIGN: JCO	DRAFT: JCO	DATE: MARCH 2025	BEI PROJECT NO. 3178
		SCALE: AS SHOWN	SHEET 1 OF 1



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OWNER/DEVELOPER:		TERRA MARIA LOT 106	
TROTTER 5857 LLC 1819 PANARAMA COURT MCCLEAN, VA 22107		3173 SAINT CHARLES PLACE ARAH APARTMENT BUILDING	
		TAX MAP: 16 GRID: 23 PARCEL: 416 ZONED: R-ED ELECTION DISTRICT NO. 2ND HOWARD COUNTY, MARYLAND	
		EXISTING CONDITIONS	
DATE:	AUGUST 2024	BEI PROJECT NO.	3178
DESIGN:	JCO	SCALE:	1"=75'
DRAFT:	JCO	SHEET	1 OF 1

BUILDING RENDERING_PRIMARY FRONTAGE



Terra Maria

BUILDING RENDERING_MAIN ENTRY



Terra Maria

BUILDING ELEVATIONS



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

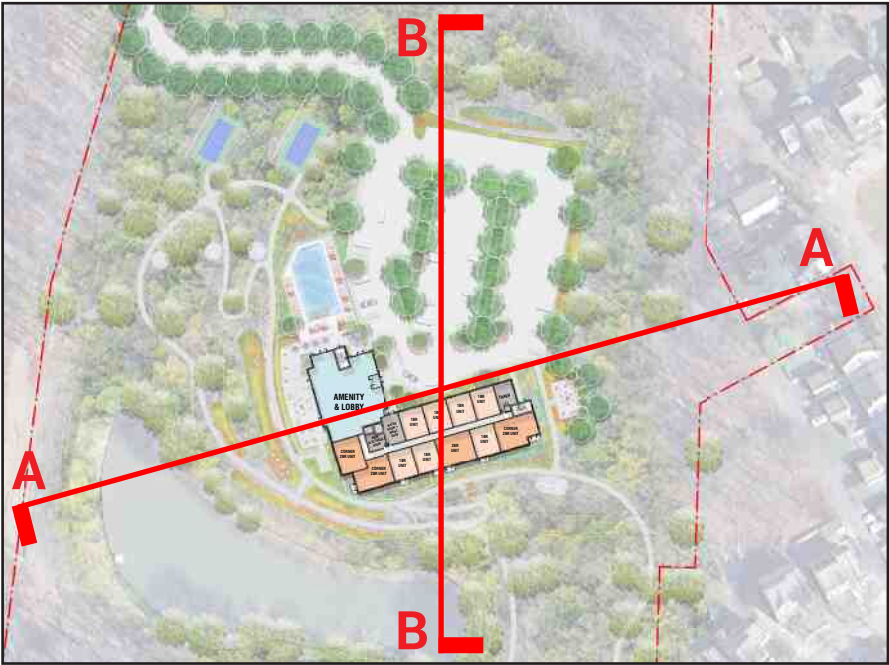
Terra Maria



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ENGINEERING, INC.

Design
Collective

SITE SECTIONS



EAST-WEST SECTION (SECTION A-A)



NORTH-SOUTH SECTION (SECTION B-B)

Terra Maria





Terra Maria







NATIVE PLANTINGS/STORMWATER CONVEYANCE/BOULDER CASCADE

PRECEDENT

Terra Maria